

# WELCOME BACK

Welcome to our second stage of consultation on Smithfield Riverside. We're excited to share our progress so far and updates to our plans based on the feedback you provided in October 2023.

Smithfield Riverside aims to breathe new life into the area between The Darwin Shopping Centre, Roushill and the River Severn, at the heart of Shrewsbury town centre.

By creating a modern and sustainable new destination to work, live and relax, Smithfield Riverside will drive economic growth, bringing visitors, jobs and investment to Shrewsbury and Shropshire as a whole.

We're building on the inspiring vision for the Riverside area that has taken shape through consultation with the local community so far, and the feedback you have already provided has helped us ensure the new Smithfield Riverside will be an inviting place for everyone.

This is the second of three rounds of consultation that will allow you to understand and help shape our plans as they develop. At this stage, we are sharing information about the suggested size and design of the new buildings, our plans for a new social destination linking Pride Hill and Raven Meadows, and the updated plans for a brand new park on Roushill, informed by your feedback last year.



We want the people of Shropshire to help shape these exciting plans for the future. When you've finished reading, **WE'D LOVE TO HEAR WHAT YOU THINK!**



Footbridge in the proposed Roushill Park



# THE FUTURE OF SHREWSBURY TOWN CENTRE

Smithfield Riverside is just one part of the overall shared vision for the future of Shrewsbury Town Centre.

This shared vision was developed as part of the Big Town Plan (2018), which brought together Shropshire Council, Shrewsbury Town Council and Shrewsbury BID to set out a series of clear goals for the future of the town centre.

These goals were further developed into the Shrewsbury Masterplan Vision (2021), which identified key priorities for development across six different character areas within the town centre. The Masterplan Vision recognises the special identity and heritage of Shrewsbury and how change should be managed in a way that is sensitive to this character.

With these 'big picture' plans already in place, both Shropshire Council and the Shrewsbury Big Town Plan Partnership are now bringing forward a series of more specific plans and initiatives.

We're very aware of current challenges, particularly with acute pressure on council finances. Smithfield Riverside is a long-term project to secure the future of the town centre, creating opportunities for Shrewsbury and surrounding area. Work so far has been funded by grant money, laying the ground for private investment to deliver future stages. The capital expenditure involved in helping realise the project (including the purchase of the shopping centres) is separate to revenue funding of day-to-day council services such as social care or libraries. Capital funding cannot be used for these day-to-day revenue costs.



## Shrewsbury Design Code

Led by the Shrewsbury Big Town Plan Partnership, the Design Code will ensure future developments are delivered to the highest standards and remain sensitive to the town's outstanding heritage and character.



## Shrewsbury Moves

Led by the Shrewsbury Big Town Plan Partnership, the Movement and Public Space Strategy seeks to improve movement and connectivity in and around the town centre. The Big Town Plan Partnership is currently consulting people on these plans.

Scan the QR code to get involved in this consultation.



## Smithfield Riverside Masterplan

The Smithfield Riverside Masterplan is an ambitious plan for the regeneration of the area of the town centre incorporating the Riverside and Pride Hill shopping centres. This consultation relates to two planning applications that form part of this masterplan.



## Other town centre improvements

Utilising part of the £19m of Levelling Up Fund Round 2 (LUF2), Shropshire Council is proposing several active travel and public realm improvements.

Scan the QR code to get involved in this consultation.



## River Severn Partnership

Shropshire Council is joint chair of the River Severn Partnership, which aims to make the Severn the most vibrant and resilient river network, with an exceptional quality of life, prosperous local economies and an outstanding natural environment. This aim is driven by a programme to reduce flood risk, secure future water resources and improve and deliver shared natural assets.

# SMITHFIELD RIVERSIDE: WHAT'S HAPPENED SO FAR?

# 2018

The three Shrewsbury shopping centres are bought by Shropshire Council, helping pave the way for future redevelopment of the Riverside to facilitate the economic growth and regeneration of the town centre.



2018

2021



### January - March 2021

Building on the priorities established in the Big Town Plan (2018), the Shrewsbury Masterplan Vision (2021) highlights the Riverside as one of six character areas with a unique identity that would contribute to the regeneration of the town centre.

The Masterplan Vision – produced by Glenn Howells Architects – was developed with feedback from stakeholder engagement workshops.

**October – November 2021**  
A more detailed plan, called the Smithfield Riverside Strategic Development Framework, is produced by LDA Design. In the public consultation, a range of comments and suggestions were raised in feedback, with 'green spaces and the river', 'easy access and movement' and 'good design' ranked as the most important issues.



2022

### November 2022

Regeneration specialists RivingtonHark are appointed by Shropshire Council to help lead the regeneration of Smithfield and Riverside areas, marking a key step forward in the project becoming a reality.

2023

### January 2023

A successful bid for Levelling Up funding sees £18.7 million awarded to two projects helping to transform Shrewsbury town centre, one of which is Smithfield Riverside. This means practical work can now start on the redevelopment of the area, including demolition, site remediation and enabling works.

### June 2023

The full project team is assembled, with FaulknerBrowns Architects appointed to lead on design. Tasked with developing a high-quality outline masterplan for Smithfield Riverside, they work alongside landscape architects Spacehub.



### October 2023

The project team hold an initial round of public consultation on our vision for Smithfield Riverside and the plans for a new park on Roushill. We heard from people all across the county and used your feedback to develop our plans further. We also received very positive responses to the project from the Design Review Team, Historic England and The Environment Agency.



# 2023

2024

### December 2023

Informed by our consultation in October, the first of four planning applications is submitted for consideration. This application contained our detailed plans for the demolition of The Riverside Shopping Centre and the construction of Roushill Park.



### February 2024

We launch our second round of public consultation to gather your feedback on our plans for a new social destination on the site of the former Pride Hill Shopping Centre, plus our outline plans for the three plots at the centre of the site. The following boards provide more information on these applications.



# OCTOBER 2023 CONSULTATION FEEDBACK

In October 2023 we launched our first round of consultation on Smithfield Riverside, where we asked for your feedback on the masterplan and our designs for Roushill Park.

Between 18 October and 15 November last year, we:



spoke to more than **500** Shropshire residents across **8 events**



received **429** feedback forms



had over **14,000** visitors to the Smithfield Riverside website



found that around **two thirds (65%)** of people we asked were supportive of our plans

Many people were excited to see positive change happening in this area of the town centre. Lots of people also had suggestions on how we could improve the scheme.

## YOU SAID: WE DID!

The feedback we received helped us to further develop the plans for Roushill Park, and ensure they meet the needs of Shropshire residents.

Some specific changes we've made to the park's design, based on your feedback, are:

Many people had questions about how the park will cope with flooding, so we're using solid sculptural play features, rather than traditional children's play equipment, with a design that will tie-in closely with the geology and archaeology of the site. This will also make the play equipment sturdier, and easier to clean up after flooding.

The park has been designed to make cleanup after flooding events as easy as possible, including the use of durable paving materials and furniture, research into suitable soils, and carefully chosen tap locations for clean up hosepipes.

Climbing boulders have been incorporated into the park design in response to feedback around the need to provide outdoor play and activity elements for a range of ages, including adults.

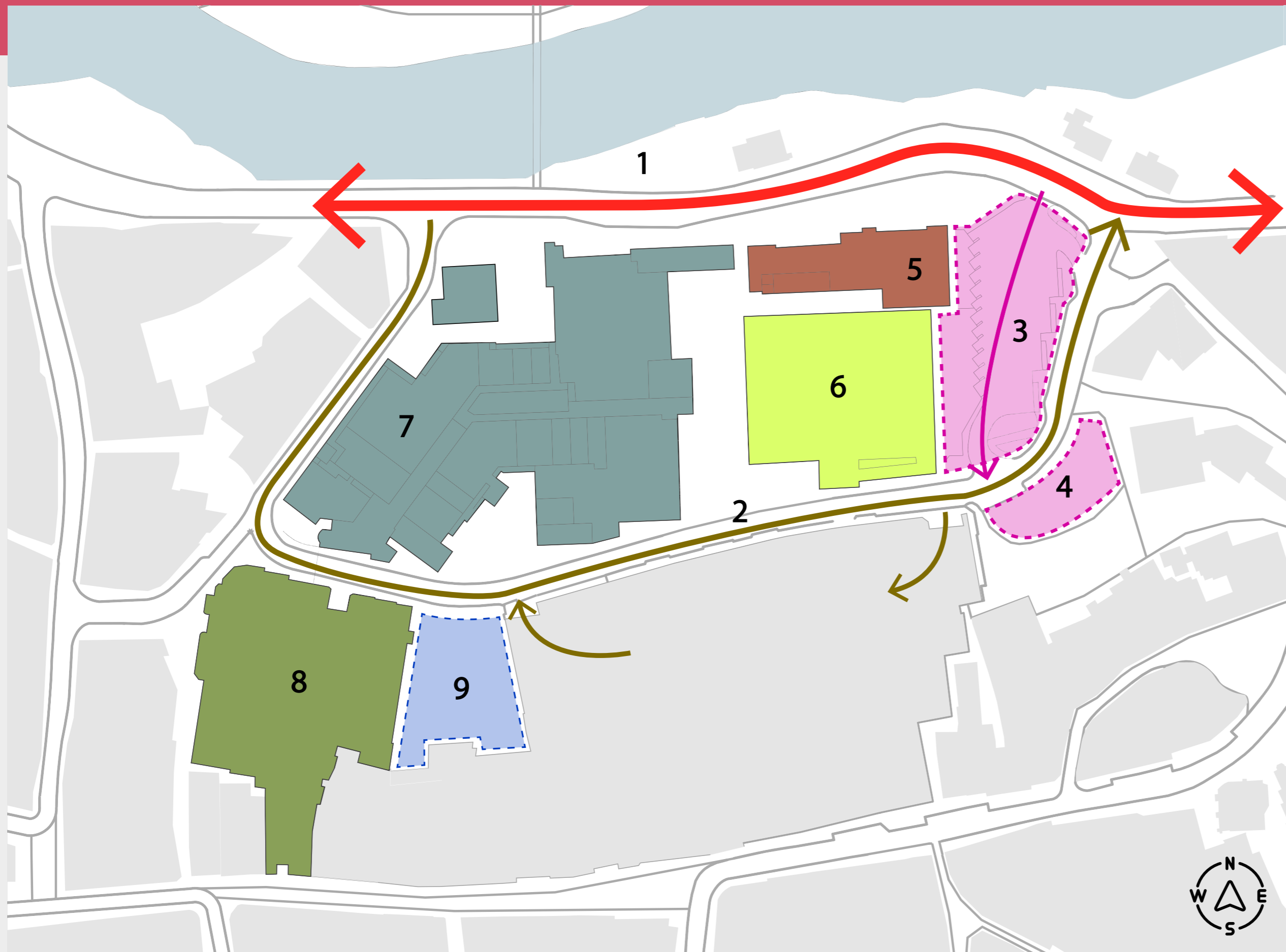
Additional rain gardens have been introduced to the park to enhance its role in the Sustainable Urban Drainage and Flood Management Strategy for the area. The additional rain gardens will also improve biodiversity and wildlife on the site, which was highlighted as a priority for many people.



# EXPLORING THE SITE

Today, the Smithfield Riverside site contains a number of vacant buildings to the west, and existing uses and businesses to the east.

This board outlines important operational, flooding and movement opportunities, and constraints the masterplan must work with and which inform our phased approach to project delivery.

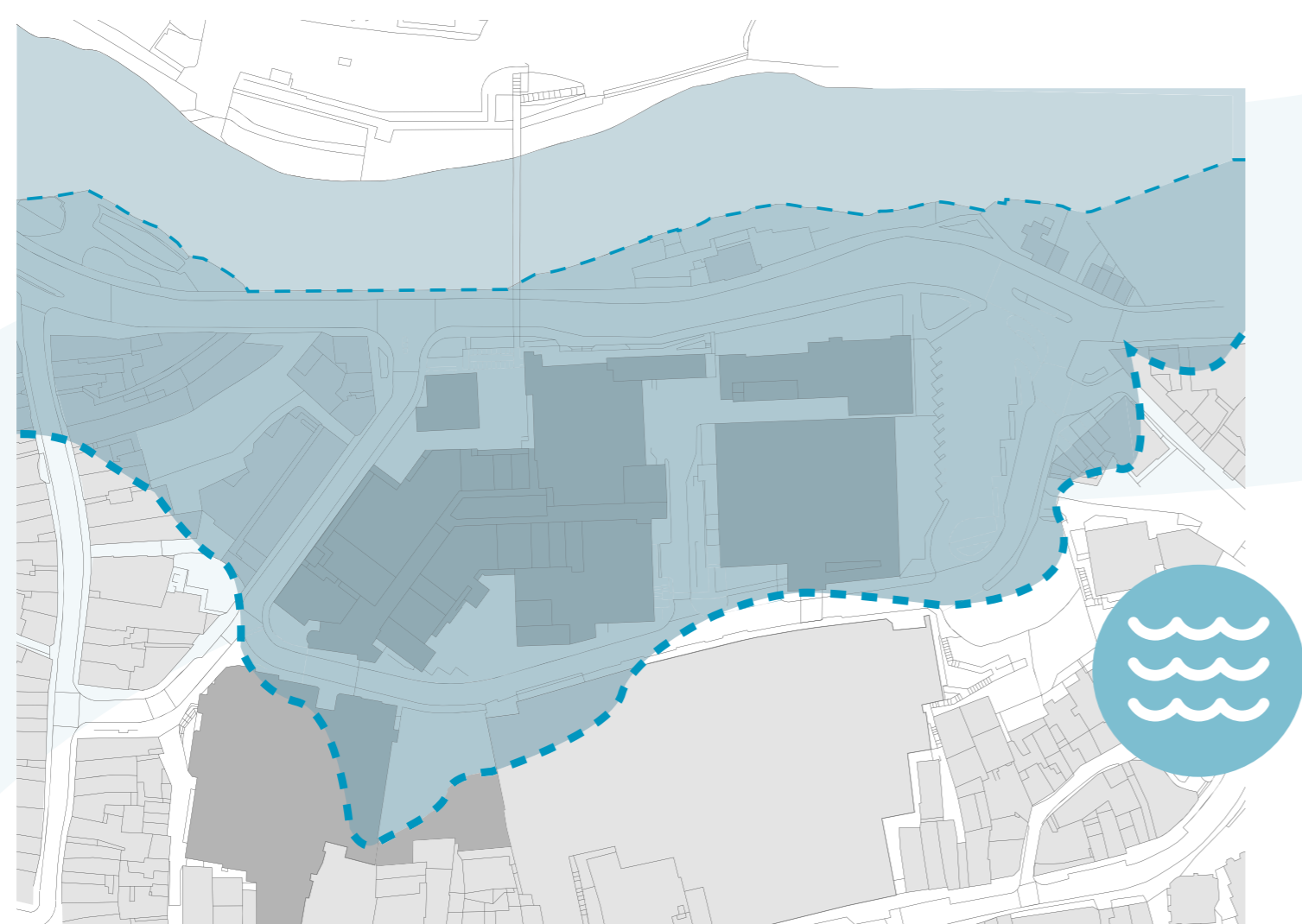


## Site Uses:

This diagram illustrates existing site uses and sites which are currently vacant.

The emerging masterplan being developed focusses on redevelopment of the western area of the site while understanding how the whole area will continue to operate. The emerging masterplan considers how the area to the east of the site (Plots 3 - 6) could be developed, but this will not form part of the planned first phase of development or the accompanying planning application.

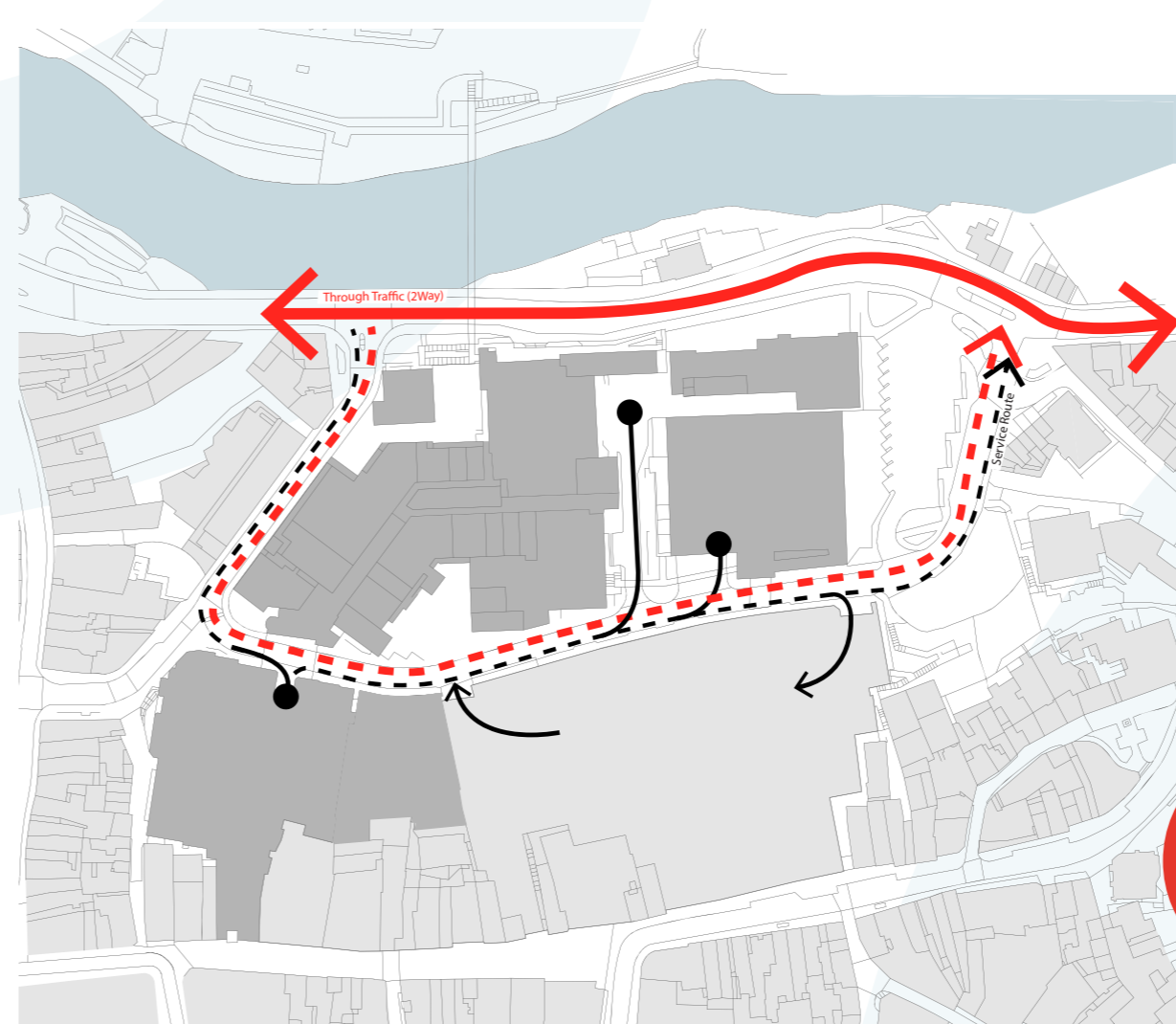
- |                    |                               |
|--------------------|-------------------------------|
| 1. Smithfield Road | 6. Raven Meadow Car Park      |
| 2. Raven Meadows   | 7. Riverside Shopping Centre  |
| 3. Bus Station     | 8. Pride Hill Shopping Centre |
| 4. Bus Layover     | 9. Gap Site                   |
| 5. Premier Inn     |                               |



## Flooding:

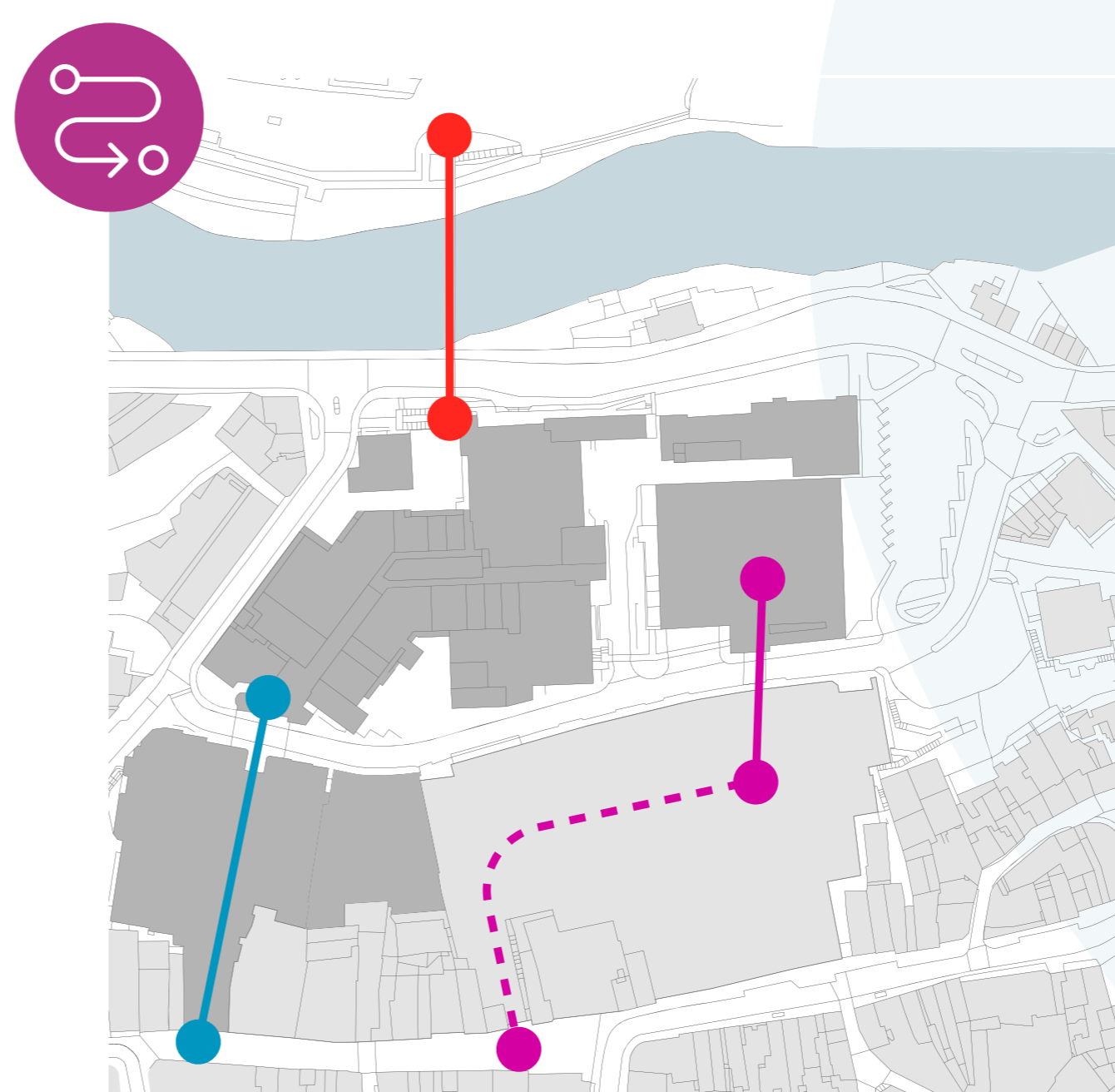
The emerging masterplan offers an opportunity to regenerate the area in a resilient way, making space for water and integrating flood risk management solutions within the development plans and public realm.

The masterplan will focus on working with water rather than against it: both by locating buildings in a way that accepts the existing flooding patterns, but also by introducing features — such as the new Roushill Park — to help manage surface water.



## Service and access:

A key constraint is maintaining or improving current service and access arrangements which are represented in this diagram.



## Connections:

An unusual feature of the site are the connections that are formed well above ground level, such as the link across the river to Frankwell, the access route to The Darwin Shopping Centre and the link to Pride Hill. The emerging masterplan will look to strengthen these pedestrian connections within and across town.

# SITE HISTORY

The site has played a varied and important role in the life and economy of Shrewsbury over the centuries.

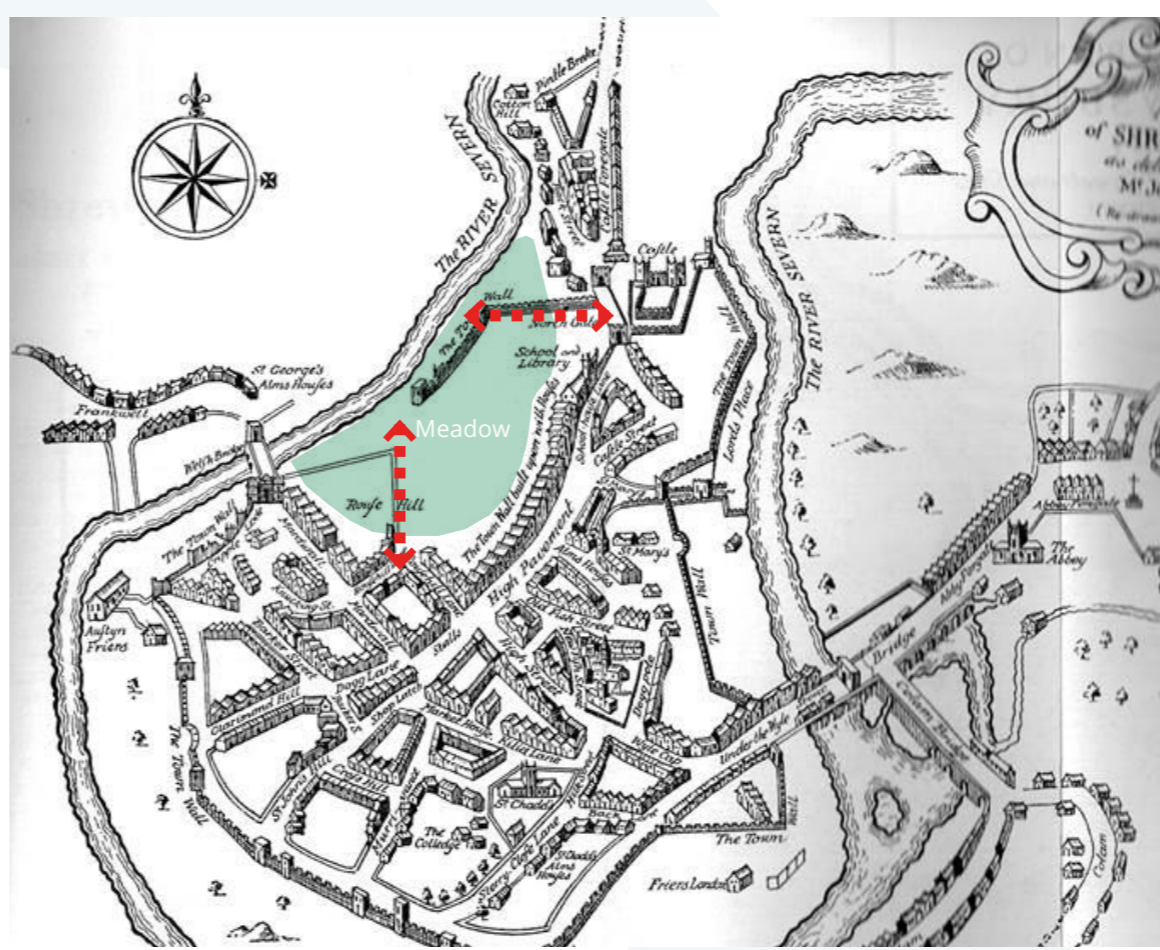
However, the history all around the site and the history of the site itself will inform the masterplan and its relationship to the town centre.

Each phase of development has seen radical change and brought a new form of development, which means that there are no historic buildings or historic streets that could help develop a new site layout.

## The medieval site:

Smithfield was a water meadow for many centuries. The site was used for livestock and cultivation. It was partly enclosed by an outer defensive wall. Later the defensive wall was completed to the east.

The alignment of Roushill and St Mary's Place is evident on historic maps. Small traces of this era of development are visible from the Raven Meadows car park, from within Pret A Manger on Pride Hill and in the walls of St Mary's Place.



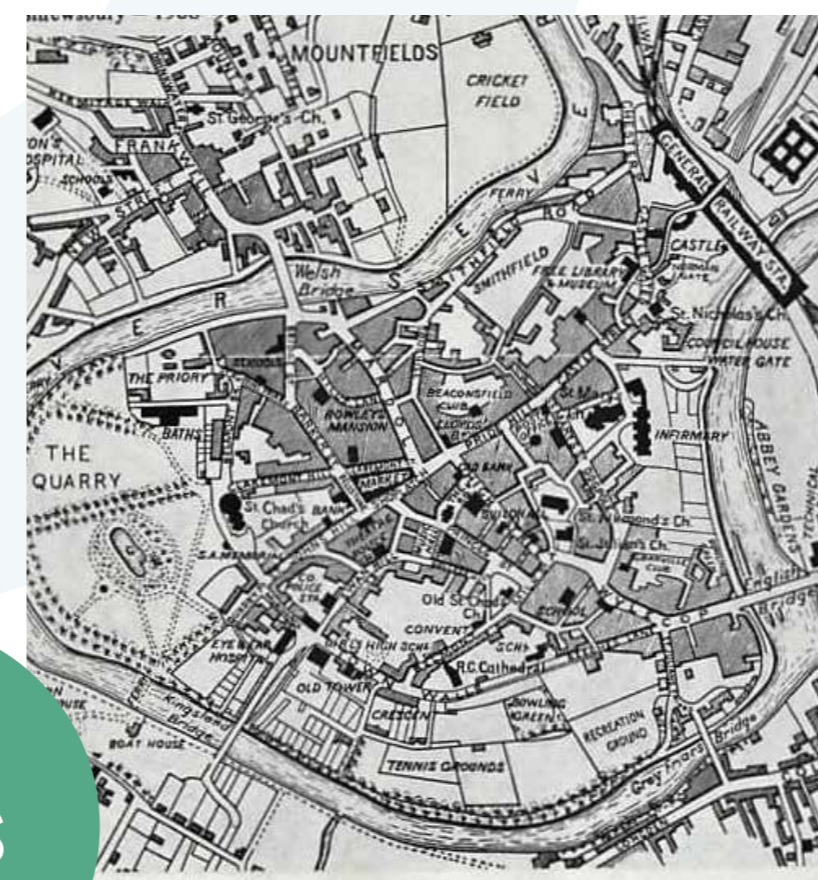
THE MEDIEVAL SITE



## INDUSTRY & MARKET

### Industry and market:

In the nineteenth century the level of the site was raised behind the Civil War defences. Utilities, foundry and other industrial uses were developed. Smithfield cattle market was established. Little of this era - including the street patterns and alignment - are visible in the current buildings and streets.



1960s

### The 1960s to today:

In the 1960s a very large and interconnected development was planned; some but not all of this plan was built and it continues to inform the layout and buildings of the site today. The Riverside and Pride Hill developments provided offices and shops for an expanding town.



60s Vision

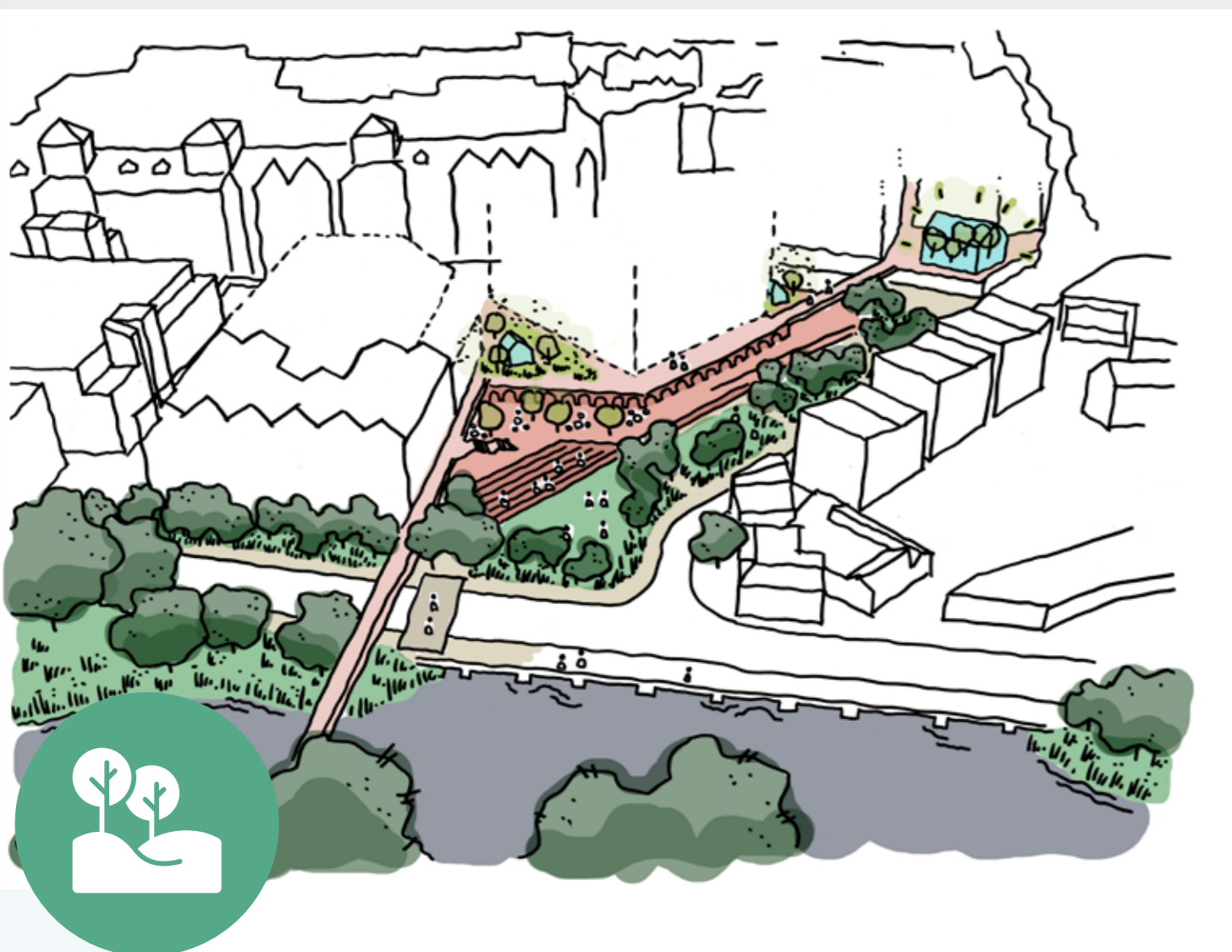
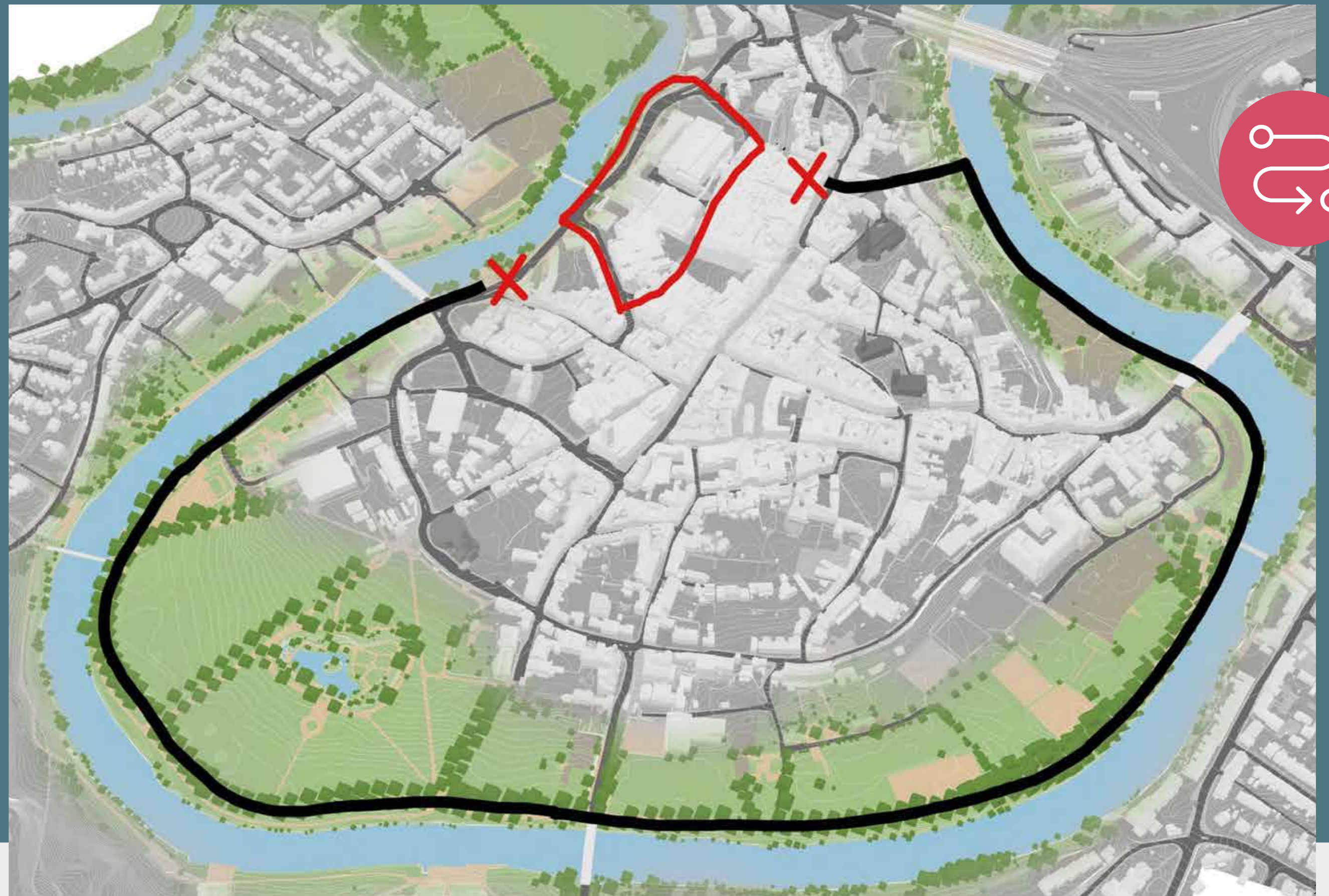
# CONNECTING SMITHFIELD RIVERSIDE

On this board we illustrate some of our ideas for how the emerging masterplan could connect the site to the wider town centre and complete the link around the river loop.

## River Loop and Town Centre Links:

Currently, the site is a break (or gap) in the town's pleasant network of streets and pedestrian walks. As part of this wider objective, we plan to complete the pedestrian linkage around the town centre peninsula formed by the sweep of the River Severn.

Supporting the principles of the Movement and Public Space Strategy, the emerging masterplan will also look to deliver landscape enhancements along the new link. For example, improvements could be made to the northern and southern sides of Smithfield Road. There is also an opportunity for the green river edge to be folded into the site to create strong green links from the river to Pride Hill.



## Connection to Pride Hill:

A new landscaped park at Roushill will provide a green link from the riverside right to the heart of the town. It will become a gateway and create a strong sense of place from which all else grows. Subject to our recent planning application being approved, the park will be the first part of the scheme to be constructed. Our ideas for the park are illustrated on other boards.

## A Gateway from the Station:

The masterplan considers the journey from the station to the site. Though disappointing at the moment, the planned landscape enhancements and improved connections with the station forecourt mean that Smithfield Riverside could become a gateway to the town centre.

Using funding from the Levelling Up Fund Round 2 (LUF2) bid award, Shropshire Council is proposing several active travel and public realm improvements in the area.



# OUR MASTERPLAN VISION

The masterplan has been divided into four clear zones, to be delivered in separate phases, each with its own challenges and opportunities. Below, you can see some of our initial ideas about which uses would be most appropriate for each phase, and how they will relate to one another and to the wider regeneration of Shrewsbury.



## Phasing Strategy: 4 urban projects

1. The key opportunity for this zone is to improve the link from the town centre to the riverside area through the creation of a new park at Roushill, which will be the first part of the first phase of development to be delivered. Alongside the park, we also intend to replace the currently empty buildings in this zone with new offices, homes, restaurants and a cinema.

- A** Footbridge connection to Frankwell
- B** New public park along Roushill
- C** New social destination

2. A central priority for the masterplan is to ensure that the operational needs of The Darwin Shopping Centre and Premier Inn are safeguarded. The emphasis will be on both protecting servicing, and ensuring the critical footfall from the Raven Meadows car park and the bus station is retained. We are also considering options to refurbish the car park to bring it up to modern standards. A new road linking Raven Meadows to Smithfield Road is also proposed, to provide an alternative route for buses and help to reduce traffic on Roushill.

- D** Proposed new avenue

3. Earlier masterplans, including the Big Town Plan and the Strategic Development Framework, suggested that new buildings could be delivered on the site of the bus station. While this is still possible, the masterplan will also consider alternative options for the bus station based on the outcomes of the Shrewsbury Moves consultation.

4. We envisage that the masterplan will look to deliver staged improvements to Smithfield Road so that we are able to keep in step with wider initiatives from the Big Town Plan. This will be informed by the Shrewsbury Moves consultation.



Important access routes through Zone 1 of the emerging Smithfield Riverside masterplan



# ROUSHILL PARK THE PLANS



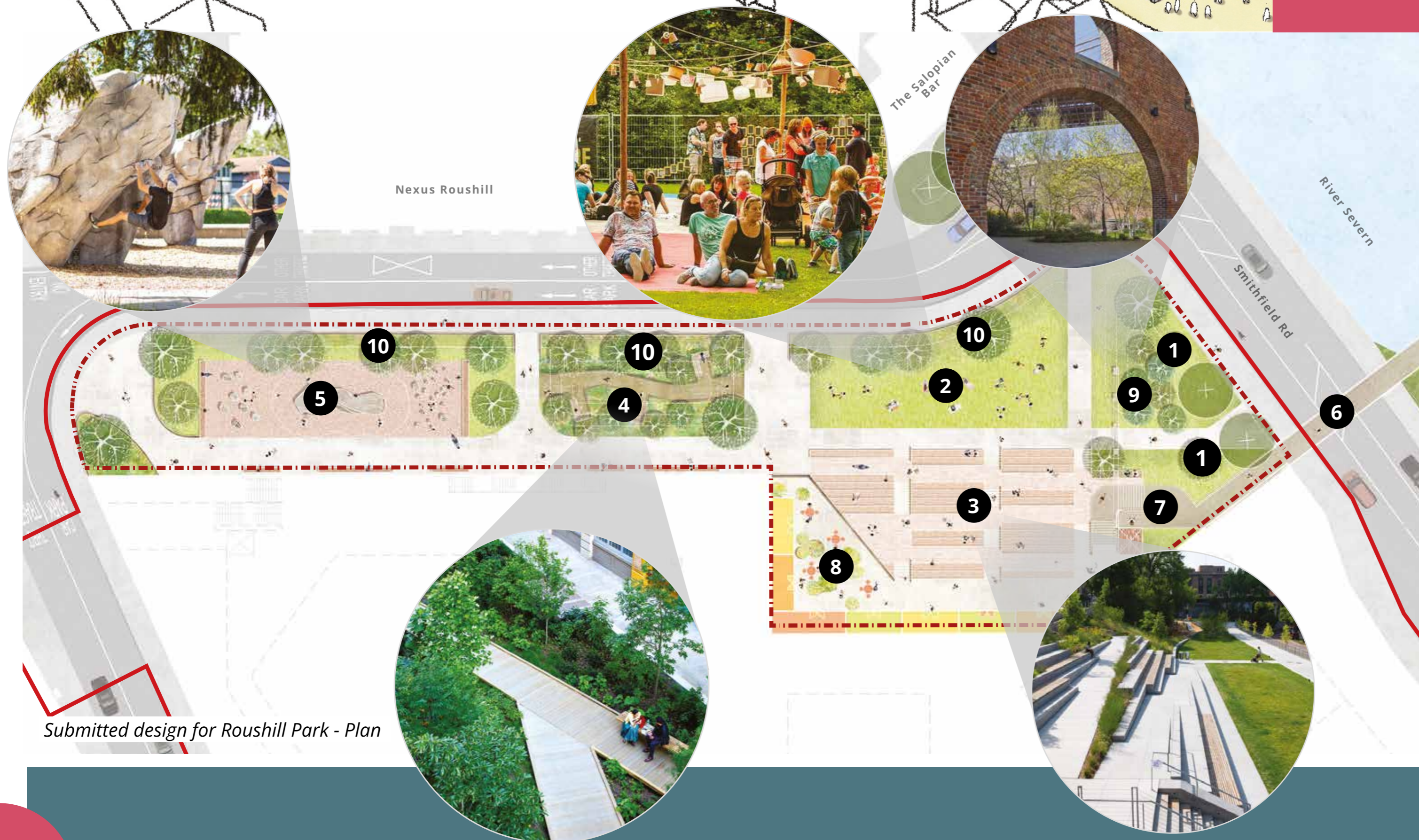
Diagram showing how the park integrates with the wider illustrative masterplan



Submitted design for Roushill Park - Axo

Roushill Park will create a new public destination that complements the unique identity and heritage of Shrewsbury. It will form the sustainable heart of Smithfield Riverside, breathing new life into the area through the provision of new green space, trees and planting, while helping to improve biodiversity in the town centre.

Featuring play equipment, an amphitheatre public performance space, rain gardens and an events lawn, we're confident that Roushill Park will provide something for everyone, as well as improving access routes from Frankwell and creating a vibrant new gateway to the town centre. The boards in this room show a detailed breakdown of the submitted plans for Roushill Park.



Submitted design for Roushill Park - Plan

- Planning Application 1 Boundary
- - - Roushill Park Boundary
- 1 Wet Woodland
- 2 Events Lawn
- 3 Amphitheatre + Ramp
- 4 The Garden
- 5 The Play Area
- 6 Frankwell Footbridge
- 7 Viewing Platform + Lift + staircase to/from Frankwell Footbridge
- 8 Meanwhile Use Area
- 9 Gateway Wall
- 10 Ha Ha Rain Garden



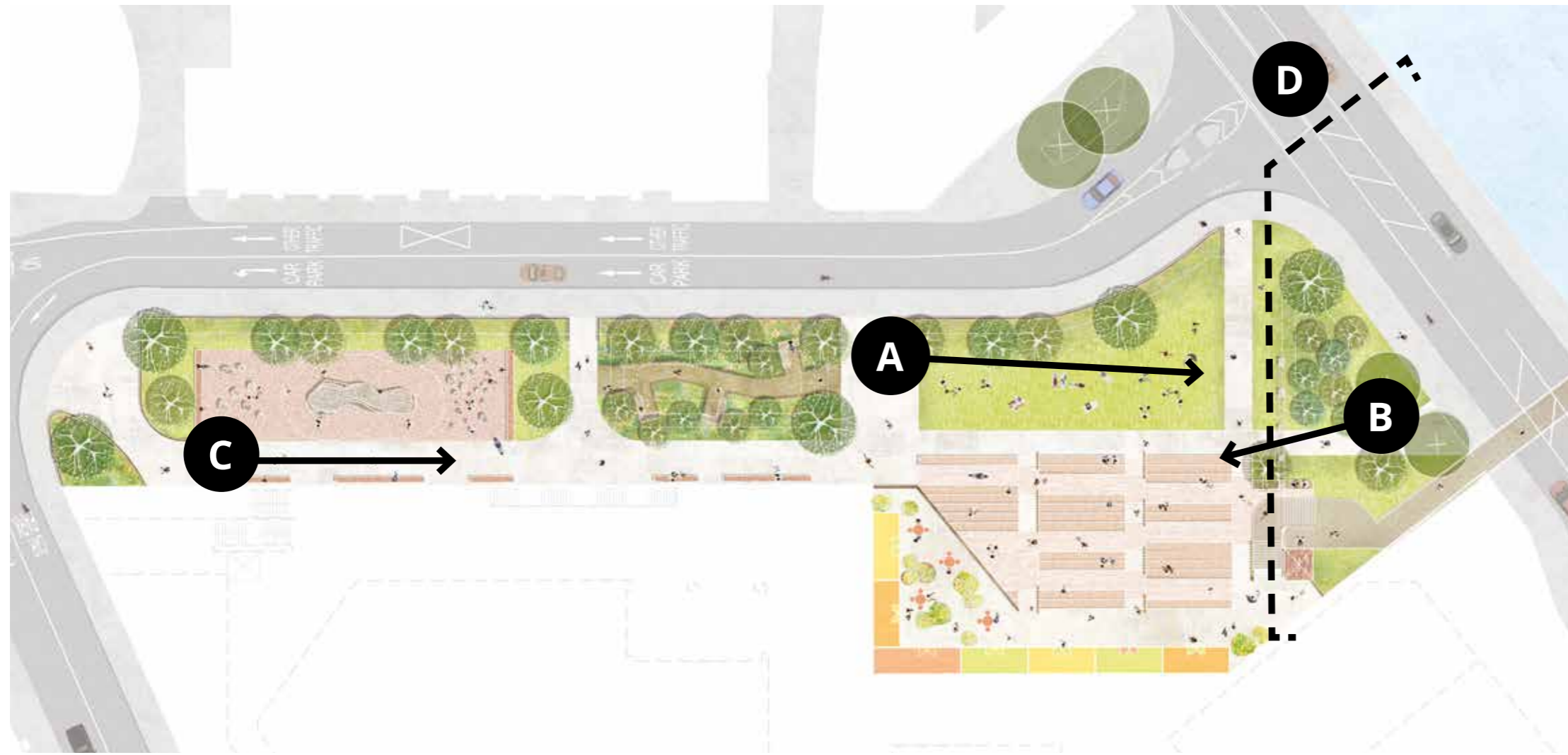
## What next?

Last October, we showcased a first look at our designs for Roushill Park, and asked you to share your views on the area.

After incorporating your feedback, we submitted our planning application to Shropshire Council on **20 December** last year.

The council's Northern Planning Committee will meet and consider our proposals in spring 2024, and we will continue to provide updates throughout the consultation process.

# ROUSHILL PARK VIEWS OF THE PARK



Here you can see how we expect different areas of the park to look and feel.

Overlooking the River Severn and the Welsh Bridge on one side, and out onto the Events Lawn on the other, the proposed inclusive raised terraced seating will create a unique social space that is safe and welcoming to all.

The Events Lawn is designed to be a flexible and open space where we envisage community focused events, including theatre, live music and cinema screenings could take place.

The section of the park further along towards Raven Meadows will contain a children's playground and rain gardens.



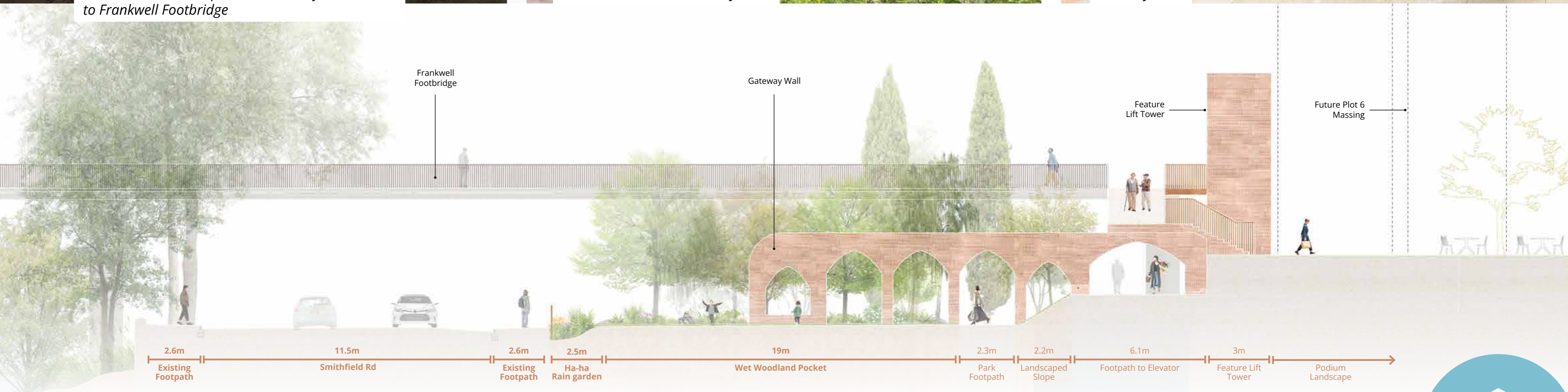
The Events Lawn, Amphitheatre and lift connection to Frankwell Footbridge



Wet Woodland and Gateway Wall



The Play Area



## Geology, Materials and Design

Enclosed by a long sculptural seat and planting, the Play Area is an exciting new playspace in Shrewsbury town centre. Aimed towards more adventurous play than other local playgrounds, people of all ages are encouraged to take part in active, challenging and imaginative play. The natural materials used in the play area will blend into the park, giving it a natural feel, yet are robust enough to withstand flooding.

The threshold between the Smithfield Road wet woodland planting and the rest of the park is marked by the gateway wall. Made from stone material complementary to Shrewsbury's natural geology, it appears as a ruin or relic from a time before, through which the park is viewed when approached from the River. The wall is an interpretation of the old Town Wall, which was uncovered during the construction of the Riverside Shopping Centre.



# ROUSHILL PARK SUSTAINABILITY

## Sustainable Drainage Strategy

Roushill Park will be home to a network of Sustainable Drainage Systems (SuDS) to capture surface water runoff from hard surfaces and the future Illustrative Masterplan development.

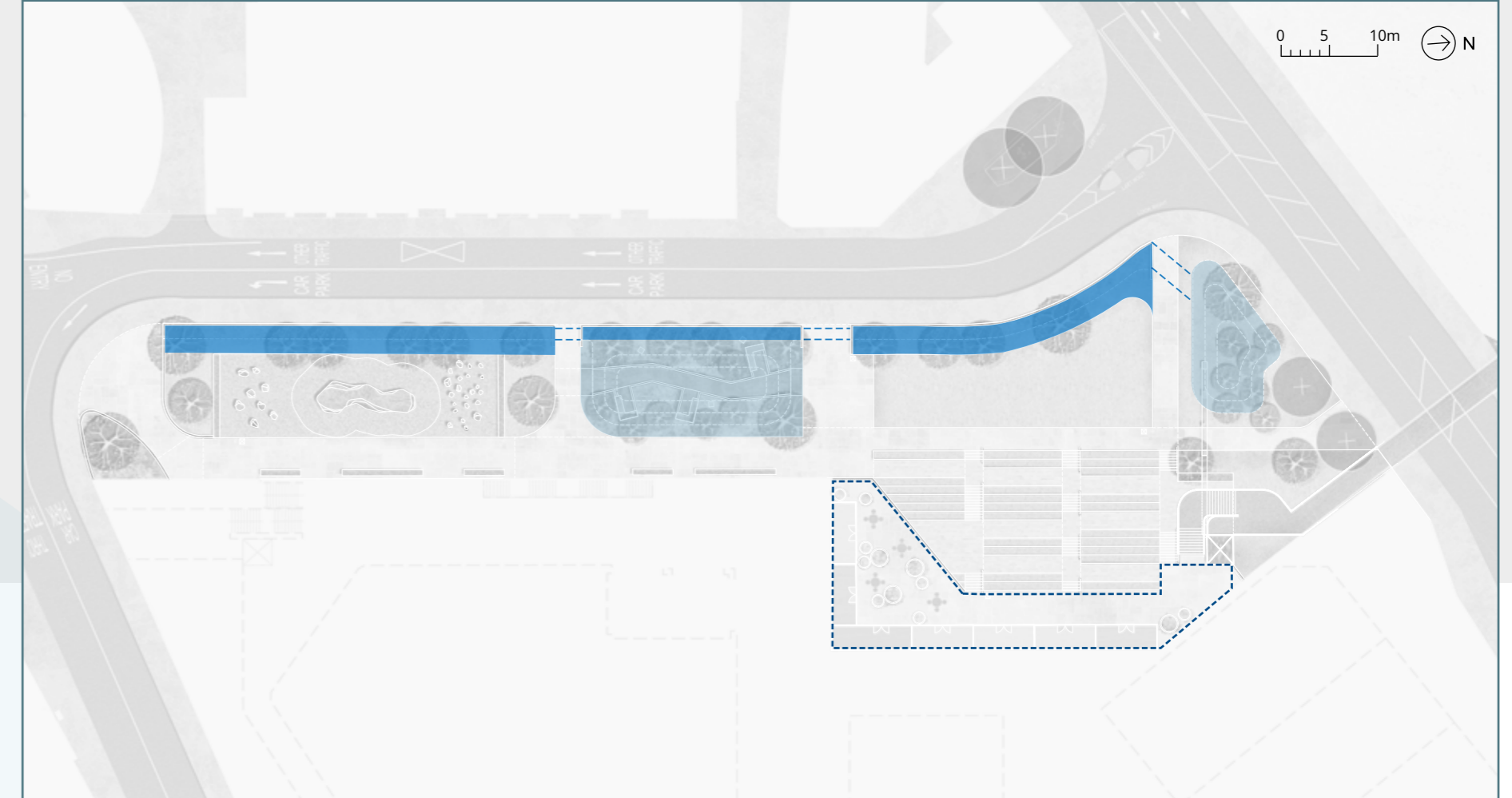
Rain gardens throughout the park are designed to hold surface water runoff and allow it to drain into the ground slowly improving water quality before it is discharged into the River Severn. Rain gardens also provide great habitat potential for birds and invertebrates, adding to the biodiversity in the park.

There will also be an opportunity for underground water attenuation tanks to be utilised within the site — particularly under the amphitheatre.

A series of Ha Ha (sunk fence) gardens along the boundary of the park will provide additional drainage.

Sustainability and flood resilience was one of our main priorities when designing the park, and we learned from our first round of consultation that flooding is a key concern for many people in this part of town. On this board, you can see some of the planting and Sustainable Urban Drainage Systems (SUDS) strategies we have employed to ensure that Roushill Park plays a meaningful role in flood alleviation.

## Sustainable Drainage Strategy

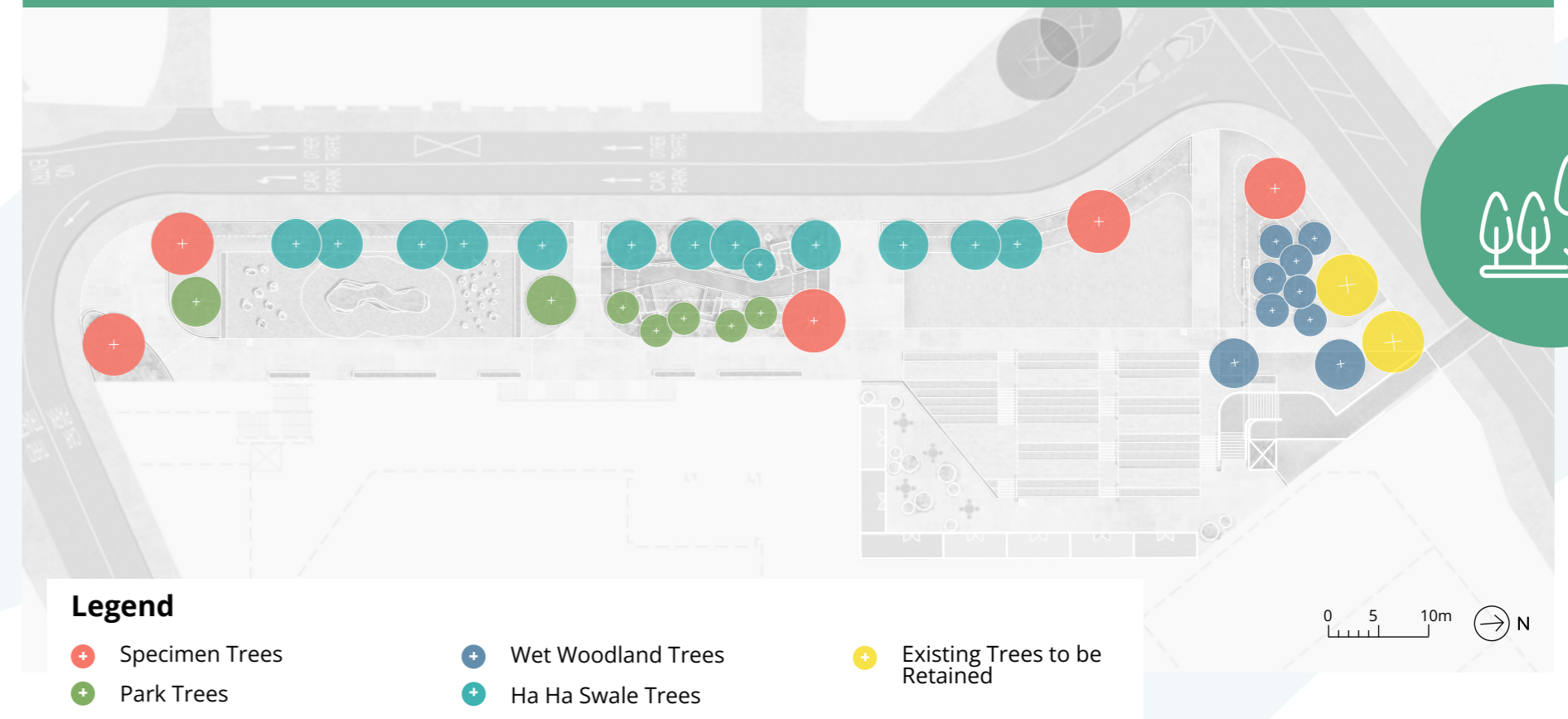


### Legend

- Rain Garden
- Ha Ha Linear Rain Garden/Attenuation
- Rain Garden Connection
- Indicative Location for Below Ground Attenuation Tanks

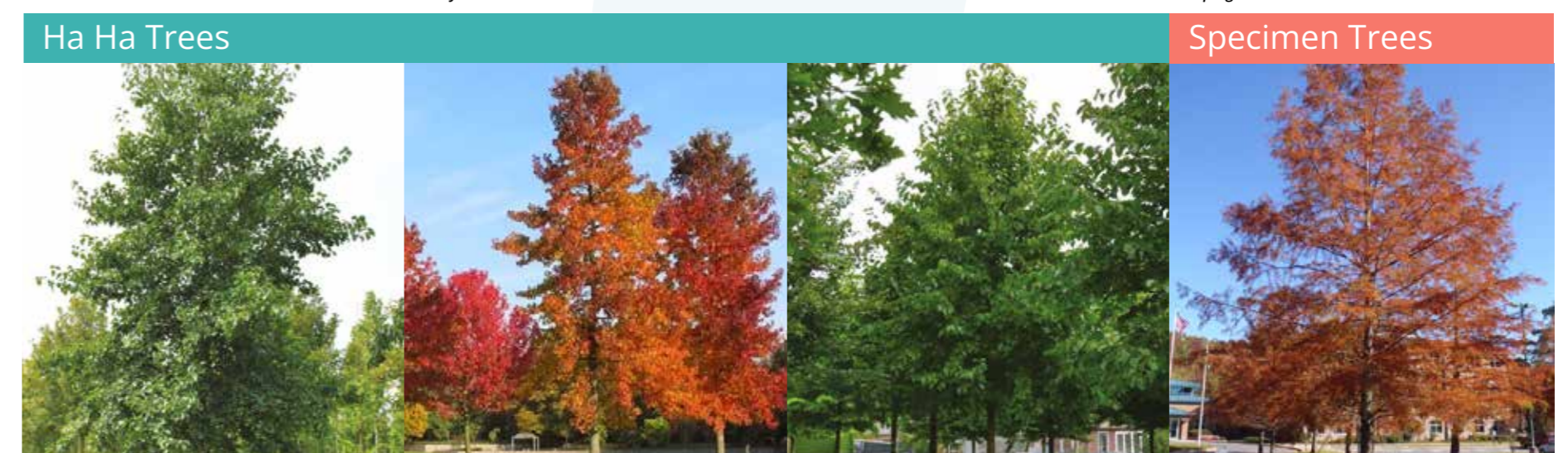
## Tree Planting Strategy

Tree species selection is largely based on trees that can withstand regular wet soils and occasional flooding, yet provide great year-round structure, seasonal interest and biodiversity benefit. There are two existing oak trees on the park boundary with Smithfield Road that are to be retained.



### Legend

- Specimen Trees
- Park Trees
- Wet Woodland Trees
- Ha Ha Swale Trees
- Existing Trees to be Retained

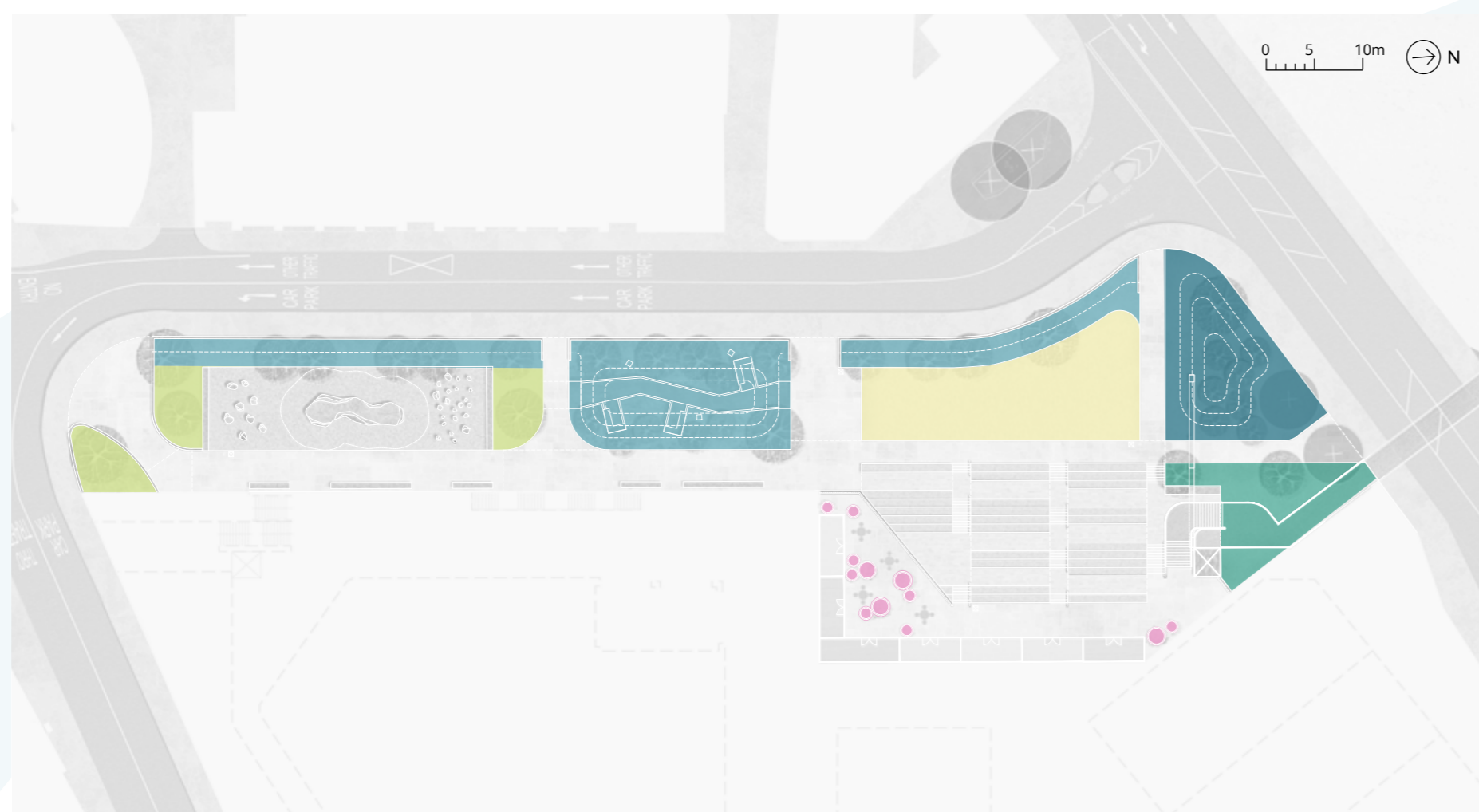


A sunken rain garden with a raised walkway

Planted rain garden

A rain garden during a severe rain event

## Planting Strategy



### Legend

- Wet Woodland
- Ha Ha Rain Garden Planting
- Meadow Edge
- Lawn Area
- Woodland Understorey
- Containerised Planting

## Planting Strategy

The planting character areas in Roushill Park respond to specific microclimates and environmental conditions. Each palette is varied in native and non native species selection, as well as seasonal interest, form and structure. Flowering species with the Royal Horticultural Society Plants for Pollinators label are woven throughout to improve biodiversity.



Wet woodland planting

Ha Ha rain garden planting

Meadow edge planting

Lawn planting

Woodland understorey planting

Containerised planting

# WHAT'S COMING UP?

On this board you can see our current progress towards a connected town quarter with a mix of uses. This inviting new hive of activity will be delivered in several phases, starting with the park beside Roushill.

This plan illustrates the first phase of development which we have split into four separate planning applications. This allows us to seek your feedback at multiple stages, on different aspects of the plans.



1. The first application which includes demolition of the Riverside Shopping Centre and the new park on Roushill was made in December 2023 and includes area within the red boundary.
2. The second application will be an outline application, covering the construction of a podium area on the site of the Riverside Shopping Centre, and outline scale and massing of any future buildings within the blue boundary.
3. A third, fully detailed, application for redevelopment of Pride Hill within the orange boundary will follow.

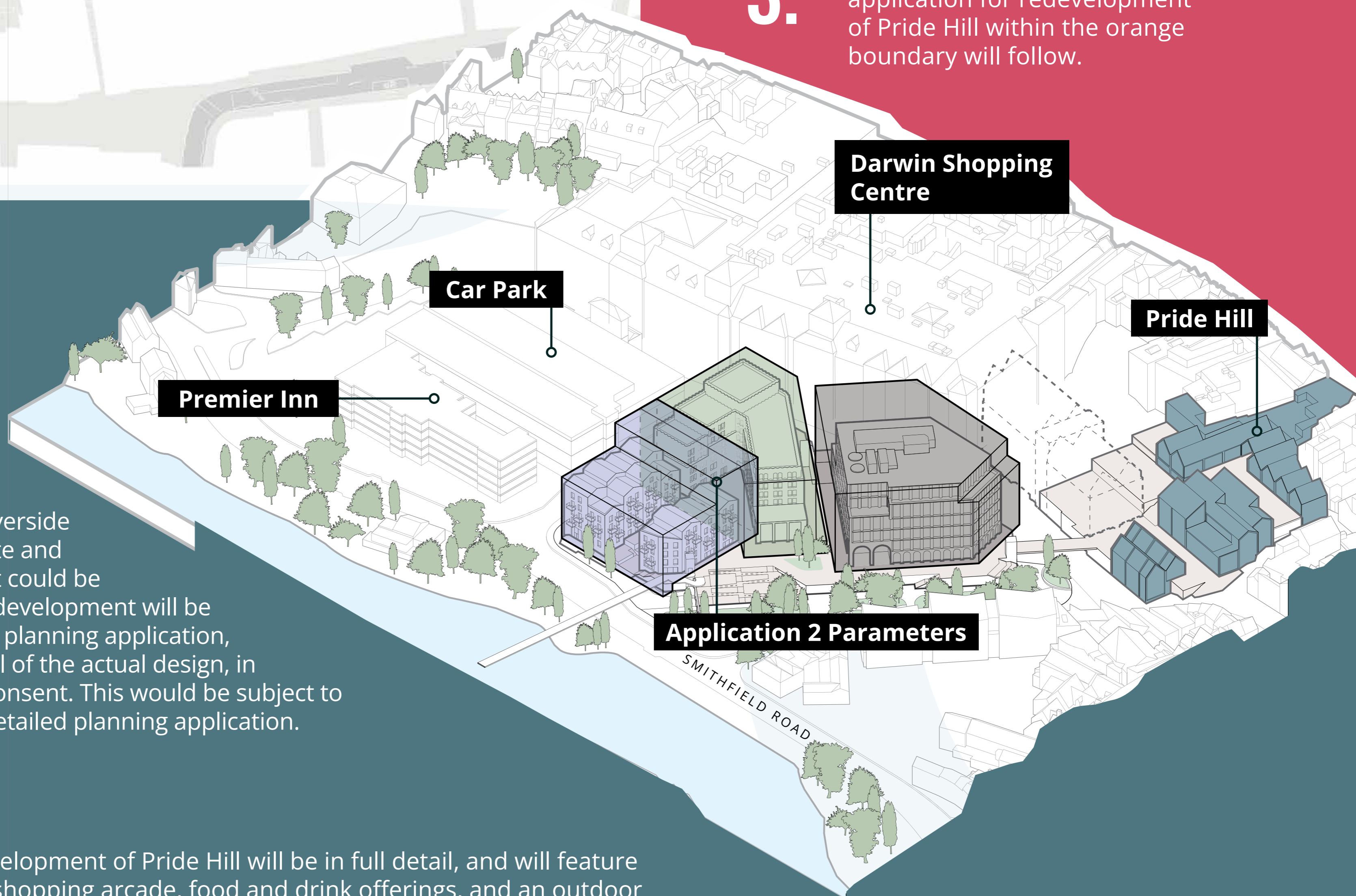
## THIS CONSULTATION

### Application Two

The outline application for Riverside will consist of rules that dictate and control how the development could be brought forward. Any future development will be subject to a reserved matters planning application, which would set out the detail of the actual design, in adherence with any outline consent. This would be subject to consultation, like any other detailed planning application.

### Application Three

The application for the redevelopment of Pride Hill will be in full detail, and will feature plans for a cinema, covered shopping arcade, food and drink offerings, and an outdoor meanwhile use space. This application will be submitted in Late Spring 2024.

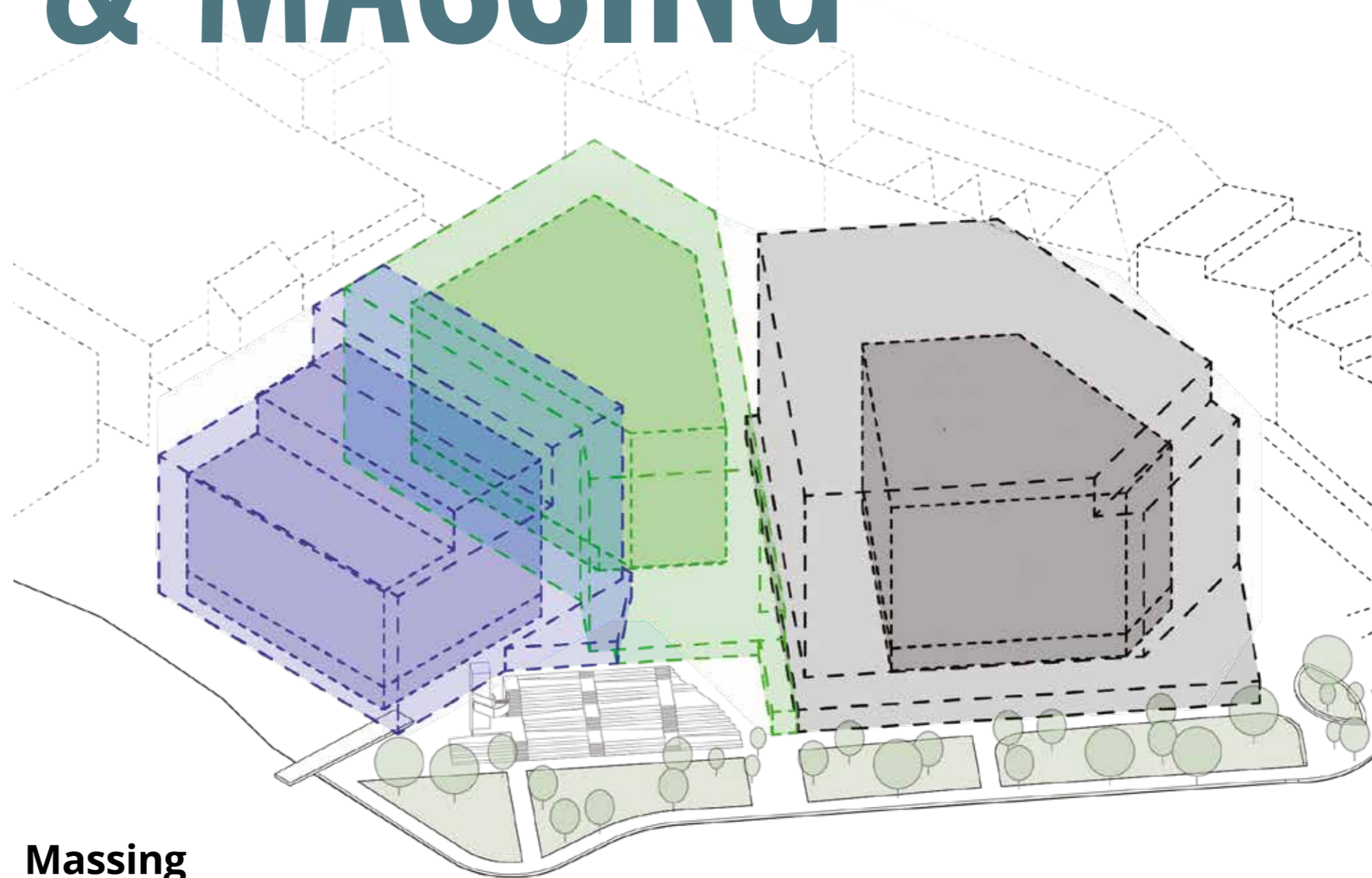
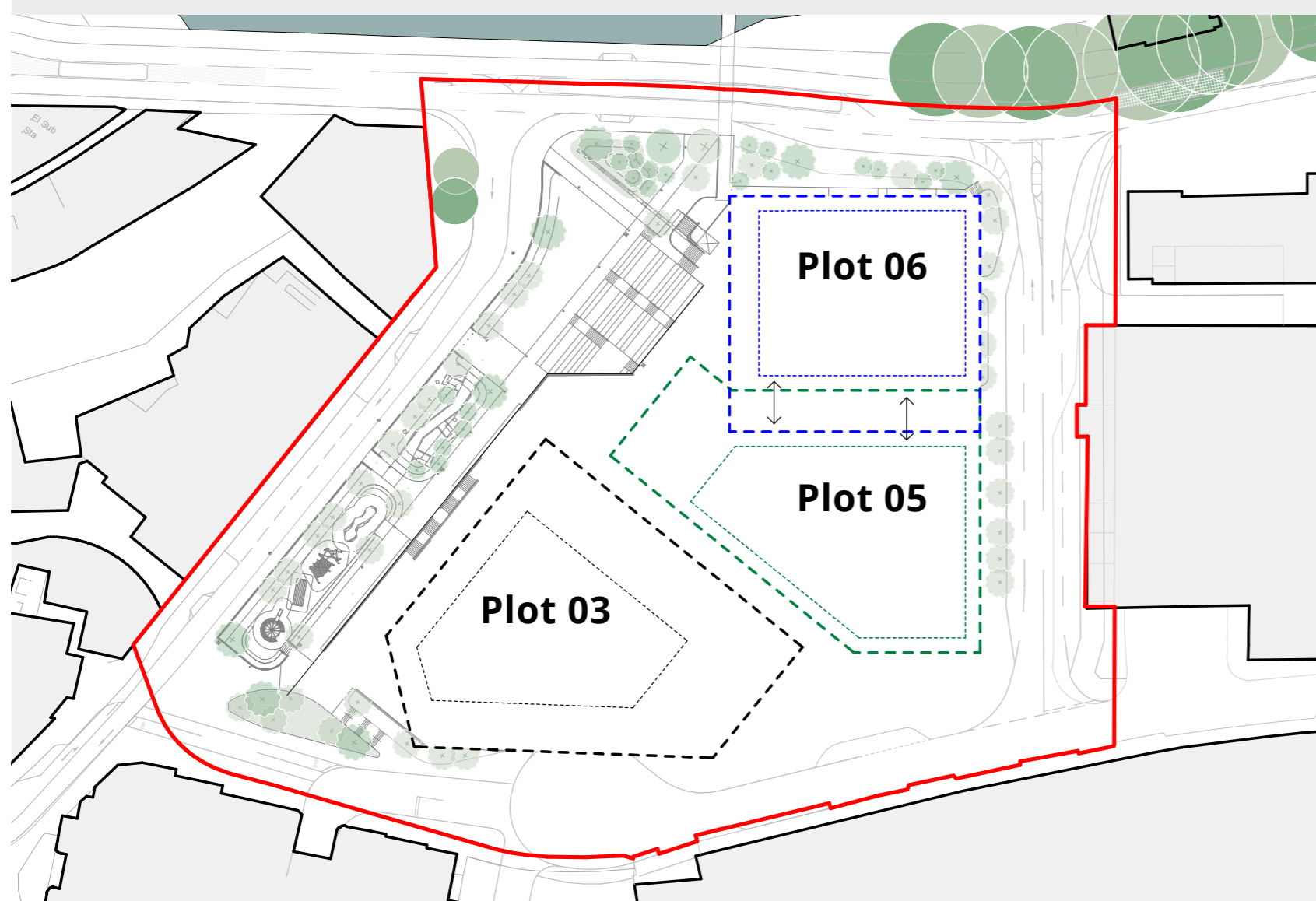


Artist's impression of Smithfield Riverside Phase 1

# APPLICATION TWO: OUTLINE SCALE & MASSING

Our second planning application will cover outline plans for the three plots at the centre of the Smithfield Riverside site: plots 3, 5 and 6.

The aim of our outline planning application is to secure the future development of the site in a flexible way, so that individual developments can come forward based on demand from future occupiers. While our outline application indicates potential uses – including offices, residential and hotel – it will provide a high degree of flexibility.



## Massing

The buildings proposed for the Riverside will be carefully considered in relation to the surrounding context and wider conservation area. The massing envelopes in Application Two show the largest massing proposed for the site.

These masses are tested as part of the application for their impact on the historic townscape from several key locations looking towards the site.

The massing is stepped in height down towards the river, and also chamfered back from the site edge on the southwest boundary to respond to important landmarks in the town centre, as well as views into the site from the west.

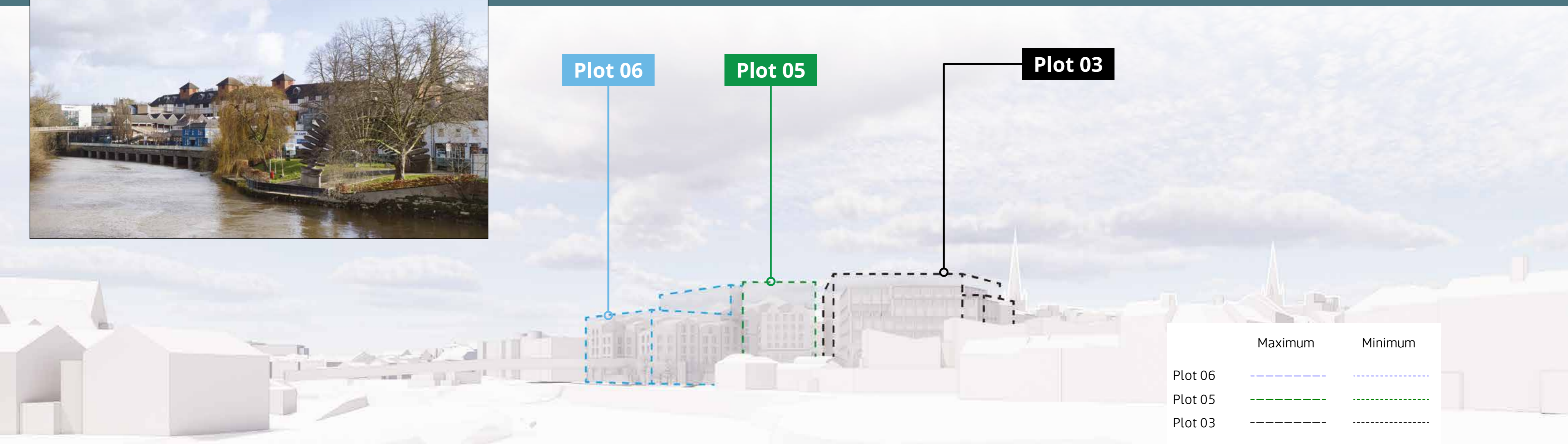
Any future Riverside buildings that are proposed in detail, will have to ensure they fit within massing envelopes proposed in Application Two.

## Maximum and Minimum Sizes

The image above shows the maximum and minimum zones for three future buildings on the Riverside site. The exact footprint, size and shape of these buildings will be defined at a later stage and subject to a full detailed planning application known as 'Reserved Matters'.

The overlap between Plots 5 and 6 shows the flexibility of the footprint of these two plots. Depending on commercial interest, either plot could be made larger or smaller within the indicated boundaries.

Below, we can see a specific view looking east from Welsh Bridge towards the site. The maximum massing envelopes are shown, with examples of the buildings on plots 3, 5 & 6 contained within them. The view shows how the massing has responded to the townscape setting, stepping down to the river and back to preserve views of the church spire of St Mary the Virgin.



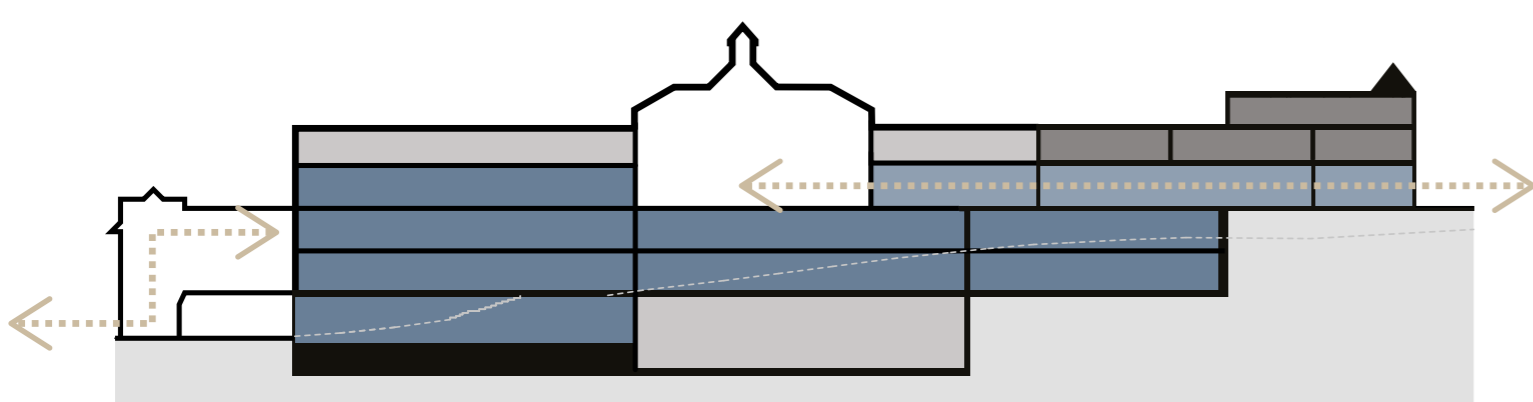
# APPLICATION THREE: PRIDE HILL

Our third planning application proposes a new social destination between Pride Hill and Raven Meadows, forming a vibrant new space to eat, meet and socialise, and linking shopping in the town centre with the new public park on Roushill. The eastern part of the podium overlooking Raven Meadows will become a meanwhile use space for local makers and small businesses.

Below, you can see how we plan to achieve this, and some of the different uses being considered for this plot.

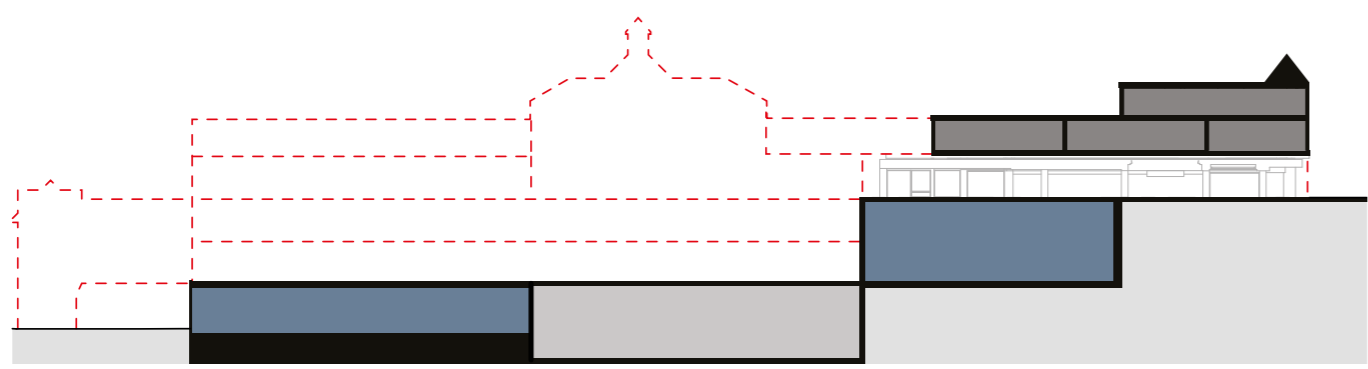


Photo of the Pride Hill Centre as it currently looks



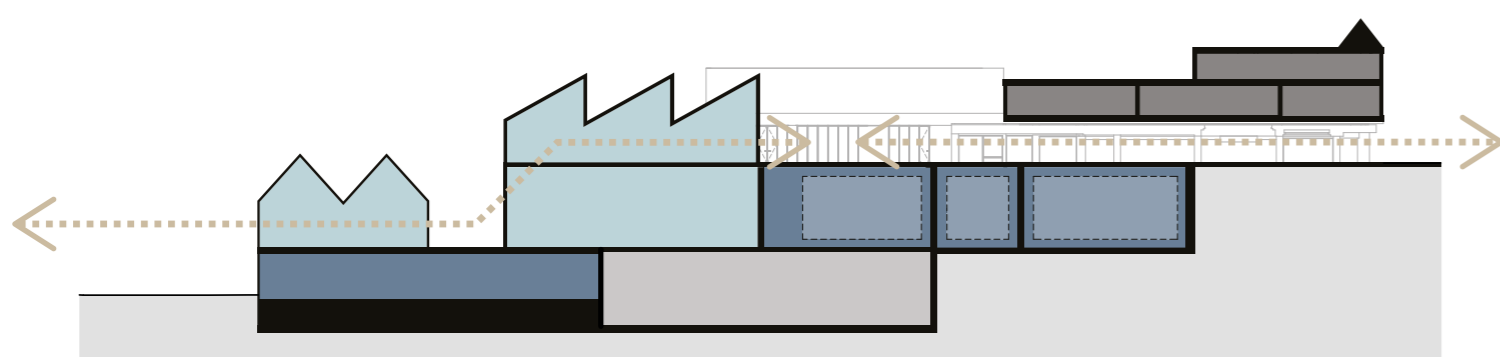
## Existing Pride Hill Shopping Centre

The existing shopping centre is an inward-looking building, which provides little interaction and interest to the surrounding streets and spaces. It does not provide a pleasant access route from Pride Hill to the riverside area.



## Partial Demolition and Reconfiguration

Opportunity exists to reconfigure the building to enhance and promote the pedestrian connections between Pride Hill, Roushill Bank and Riverside. The proposed demolition will retain the existing service yard platform. This will reduce the extent of demolition and disruption, while preserving a substantial amount of embodied carbon. This strategy would also result in retention of the existing foundations, retaining walls to the south and west, and some of the existing cores and structure to the south of the building, forming a new covered arcade that will open onto Pride Hill.

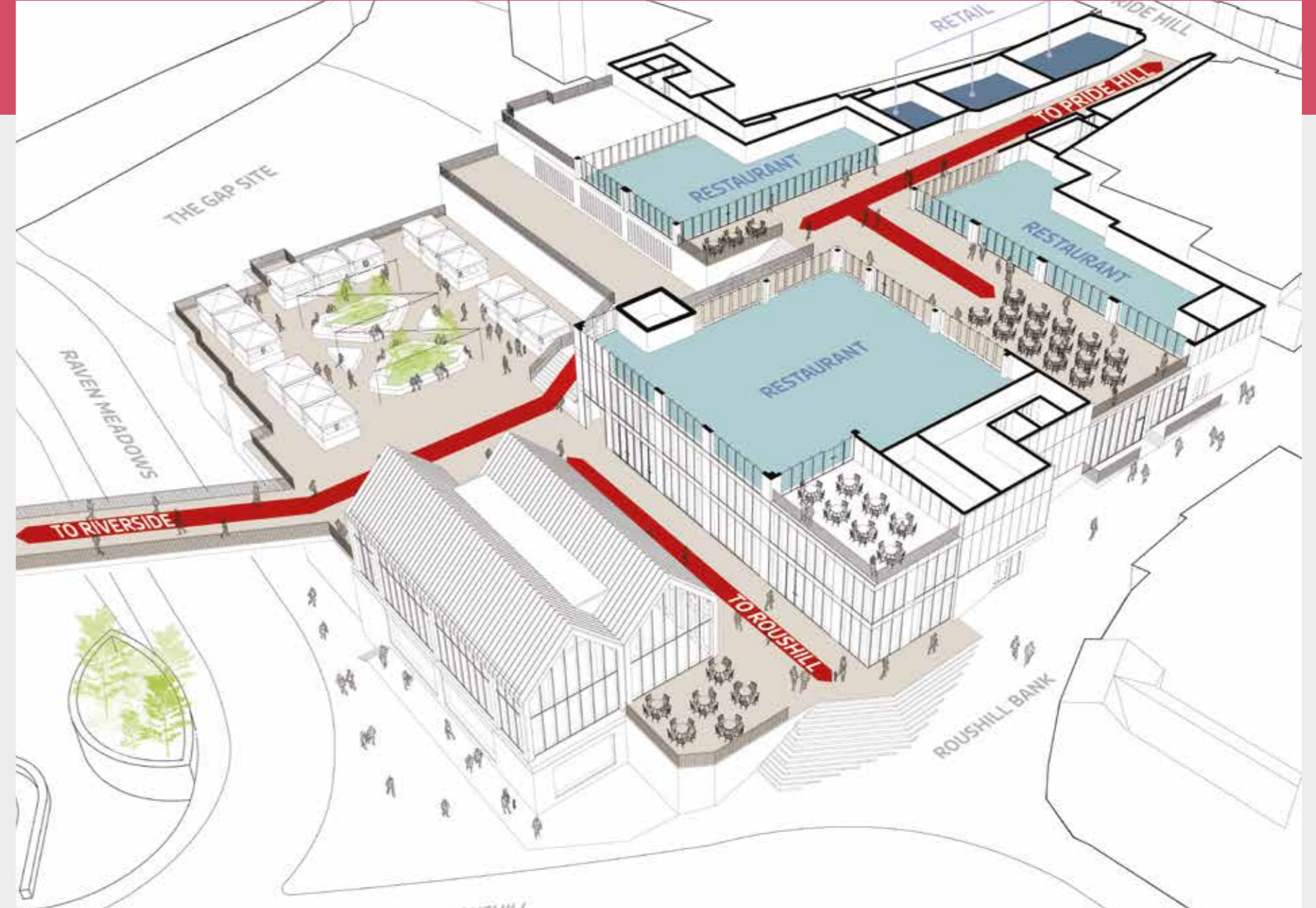
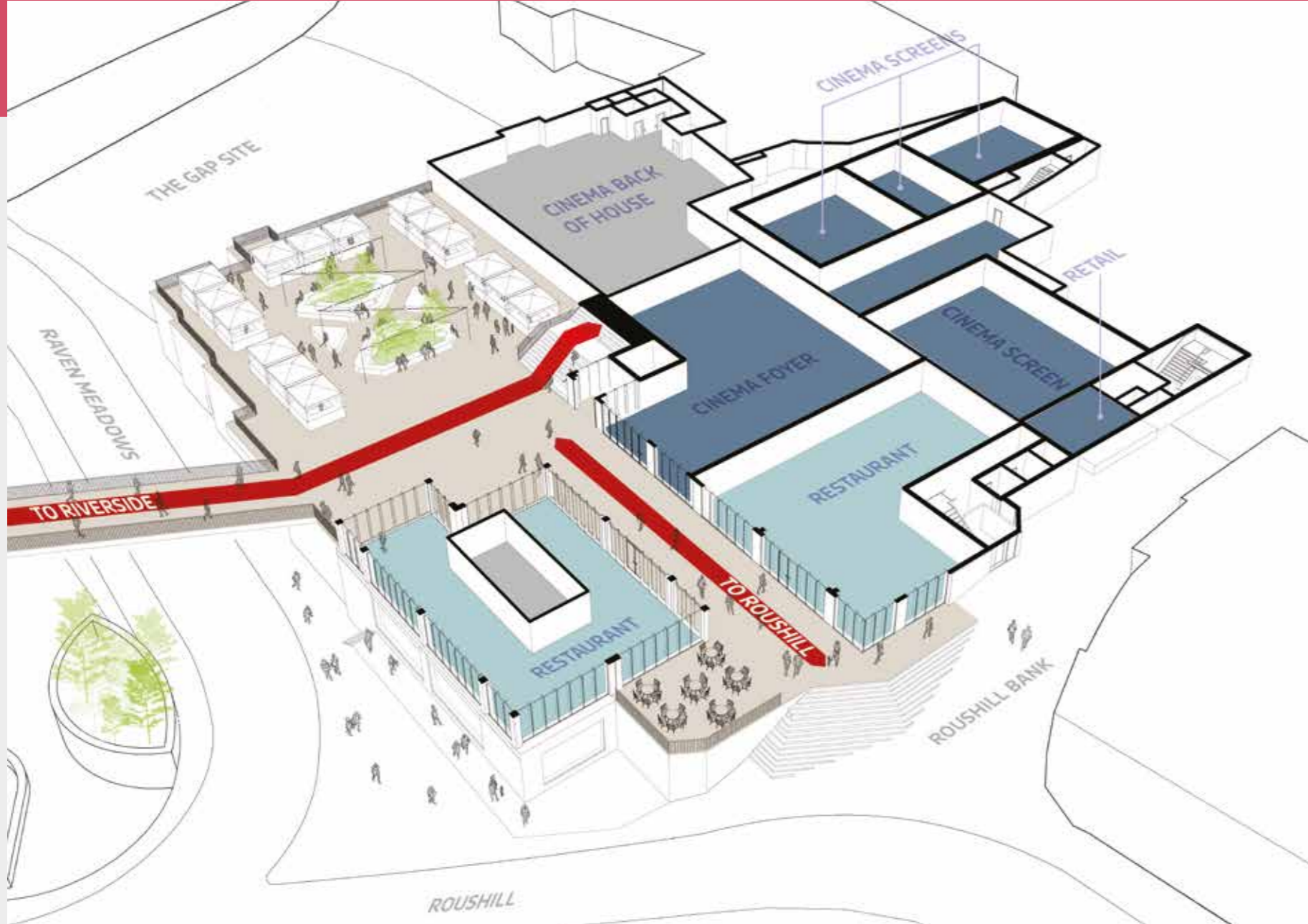


## Redevelopment Proposal

The proposed scheme is envisaged as a series of courtyards, that cascade from Pride Hill down to Raven Meadows, responding to the existing height changes and surrounding buildings. The creation of a podium accommodates the space needed for a cinema within the slope of the site, where a terrace of retail pavilions animate the pedestrian journey through the scheme. Opening up the retained refurbished mall creates a seamless connection from Pride Hill, forming a covered retail arcade and gateway into the scheme.

# PRIDE HILL SOCIAL DESTINATION

The scheme proposes to retain the existing Pride Hill service yard structure, which will form the 'table top' of a podium. This will support externally accessed retail, food, and leisure units. An external terrace with steps will provide a route to Pride Hill and High Street.



Cinema/ Leisure
  Food & Beverage
  Public Realm

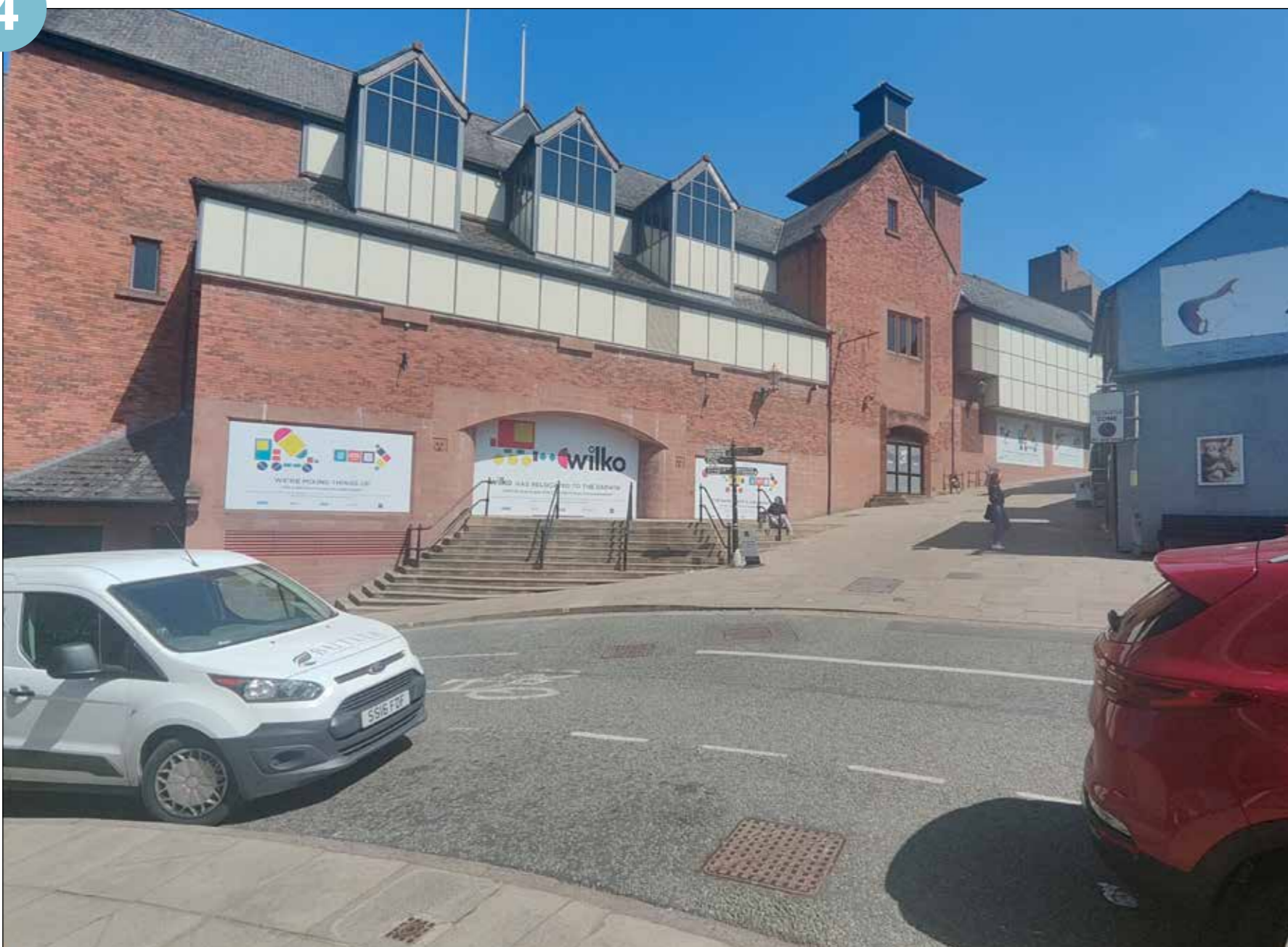
The above images show different uses in the lower (left) and upper (right) levels of the development.

1



Current and proposed views from Roushill

4



Current and proposed views from the corner of Roushill

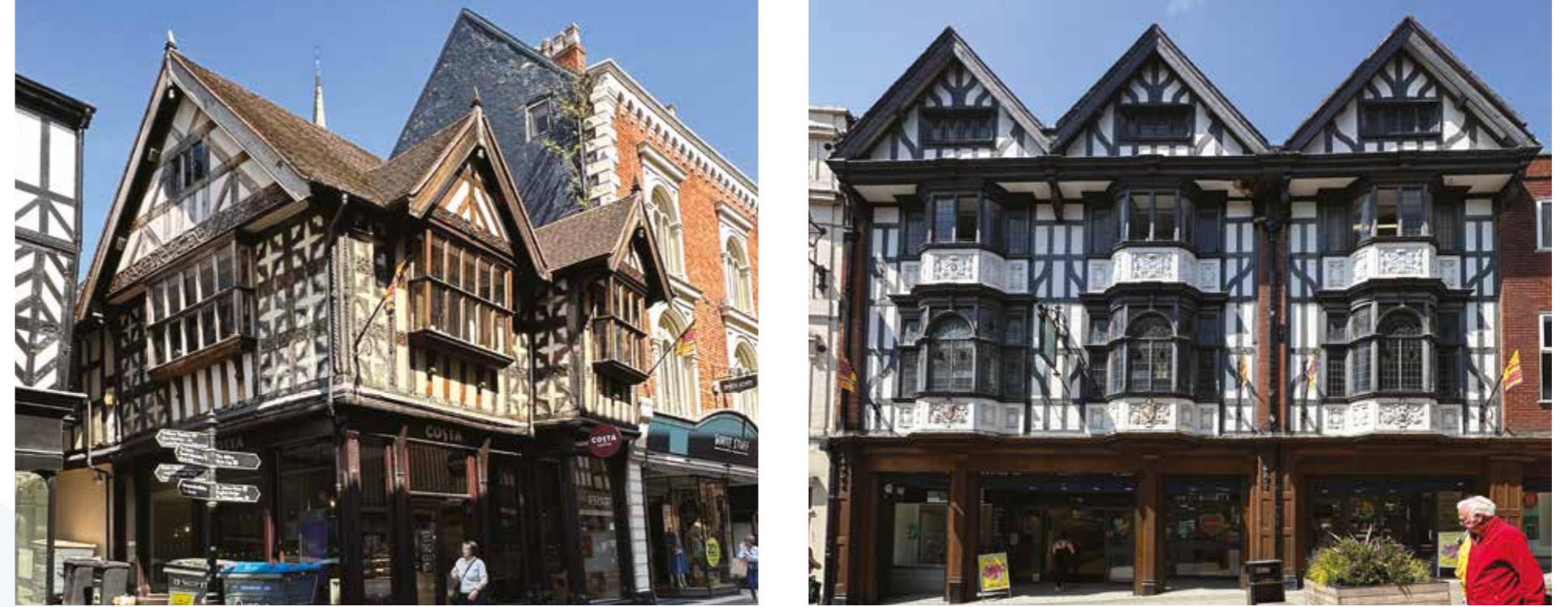


# A VIBRANT NEW DESTINATION

Buildings on the Pride Hill Centre will take inspiration from the rich and diverse history and architecture of the surrounding streets to create a destination that fits seamlessly into its context, while also delivering an energetic and modern development fit for the future.

## Roofscapes

The proposed roof forms respond to the varied and unique roofscape found within Shrewsbury, which is mostly defined by a multitude of pitched roofs. The simple collection of extruded pitches creates a series of clear roof silhouettes, defining the individual buildings, and complementing the town's heritage and historic skyline.



## Materials

Shrewsbury has a variety of building styles using brick, stone, timber, and steel that echoes the ever-evolving industrial history of the town. Currently, within the site boundary of the Pride Hill development, large brick retail units mask segments of the historic town wall which are intended to be preserved and celebrated.

In response to the town's existing colour palette, Pride Hill will sensitively reflect the raw and earthy colours of Shrewsbury, while forming bold and recognisable silhouettes in the town skyline.

The photos to the right show the inspirations for some of these choices through form, colour, and materials.



2

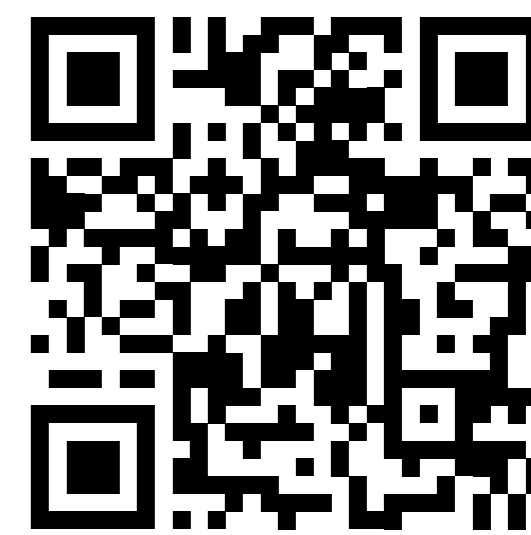


Proposed view from the footbridge over Raven Meadows



# ENGAGEMENT TIMELINE

## WHAT'S COMING UP?



You can fill in a questionnaire here, or have your say online at [www.smithfieldriverside.com](http://www.smithfieldriverside.com)

For more information, just ask a member of the team at one of our drop-in events or here at the Shropshire Local Hub.

You'll find all the information presented here on the consultation website, as well as information about other ways to get involved, including signing up for updates.

2023

### February 2024:

We're showcasing changes to the masterplan based on the feedback we received last year and seeking your views on our plans for the social destination between Raven Meadows and Pride Hill.

2024

### Late Spring 2024

Incorporating your feedback from this consultation, we'll be submitting our planning application for the outline plans in March and the Pride Hill development in late Spring.

### Late Spring / Early Summer 2024

Our next round of public consultation on Smithfield Riverside is likely to take place in late Spring or early Summer. That's when we'll be presenting more detailed plans for the multi-agency hub and residential uses on the site. We'll also be providing updated timescales for the completion of the project.

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